



RESTORE CONSTRUCTION GROUP, INC.

2411 SW 58th Terrace, West Park, FL 33023
P: 954-985-5353 ▪ F: 954-985-5356 ▪ web: www.rcg-us.com



March 18, 2022

PROPOSAL# 22-017

PROPOSAL/CONTRACT

Winston Towers 100
C/o: Angelina Saar – Manager
250 174th Street
Sunny Isles, FL 33160
P : 305-932-0850
E : manager@winstontowers100.net

RE: Pool Deck Concrete Restoration & Waterproofing Project:

Restore Construction Group, Inc. ("Contractor"), a Florida Corporation, submits the proposed Contract to **Winston Tower 100 Condo Assoc** ("Customer") at **250 174th Street Sunny Isles, FL 33160** to perform services and to provide services described under "Scope of Work" below ("the Work") Restore Construction Group, Inc. will provide the following:

SCOPE OF WORK

- Mobilize project to perform referenced Scope of Work including all necessary materials, tools, equipment, protection, labor and supervision.
- All work to be performed per **Ganem Consulting Engineering** Specifications dated **January 3, 2022** of the **Forty-Nine (49) Page** inspection -engineering- construction document with **Seventeen (17) Drawings. S-1 thru S-16 & S-16-2. And Three (3) Shoring drawings S-17 thru S-17-3.**
- Demobilize and clean work area.

PRICE

See attached bid form

NOTE: If proposal is itemized for your review, values are based on performing all items as one project. If any one item is rejected, all pricing will be subject to change.



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ENGINEERING AND PERMIT FEES

Any and all engineering and permit fees will be the responsibility of the Owner.

PAYMENT TERMS

We require Mobilization, Permits, General Condition and Bond Fees upon Contract signing. A 30% material deposit including Paint is due on all specialty order items. Progress payments are due as invoiced and the balance due upon completion. If payment is not received in the allotted time frame, a 1.5% monthly late fee will apply until paid.

CONTRACTORS PROVISIONS

The following provisions shall be considered as part of our bid proposal and take priority over any language in the bid documents that deviate from these conditions. For repair items in bid list where repair pricing is requested on a "unit of measure" basis, the following applies unless otherwise specified in the engineer's specifications:

- Partial deck repair; includes up to a maximum 3" depth.
- Overhead repair; includes up to a maximum 3" depth.
- Edge repair; includes up to a maximum of 8" back into slab.
- Column/ wall / beam repairs; includes up to a maximum 3" depth.
- Stucco replacement; includes up to a maximum 3/4" depth repair.

As per EPA Guidelines, this contractor is obligated to test any surfaces in the work area for lead. Should the testing come back positive for lead or any other harmful contaminants, the cost of remedial work is not included in this proposal.

If Applicable: Please note that the unit prices are based upon estimated quantities which could vary significantly plus or minus, except Lump Sum Items. Concrete repair is to be performed in accordance with ICRI standards and recommendations. Restore Construction Group, Inc. cannot be held responsible for any items broken or damaged due to vibration or any water intrusions. The owner is to provide water and electric at no cost to the Contractor. The Contractor will not be responsible for any roof damages, landscaping located under or around the work area, asphalt parking area, sliding glass doors, window screens, vertical blinds or any type of window systems. The owner will remove any personal property and vehicles out of the work area before work commences. Restore Construction Group, Inc. will not be held responsible for interior damage, any floor coverings such as tile, carpet, etc., that may be damaged as a result of the work. Please note Restore Construction Group, Inc. will only be held responsible for negligent damages for the items outlined above. All permits (Right of Way, Maintenance of Traffic, including overhead protection and parking meters, and Building) will be billed at cost + \$800.00 expediting fee + 20% margin per permit.

Where Great Expectations are Only the Beginning

CGC 1515037 ▪ Dade 683609-3 ▪ Broward 180-242199 ▪ Insurance Certificates Available Upon Request



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The Engineer will determine negligent damages. Please take note that the Engineer will perform inspections on all phases of the work and any possible damages deemed “negligent” will need to be addressed in the written inspection reports documented by the project Engineer. If the items were not previously documented as negligent damage in the Engineering reports, then the items will be considered non negligent damages. Restore cannot be held responsible for any utilities damaged due to buried or embedded lines, connections or junctions. The contract amount will be based upon unit cost indicated for the actual amount of concrete repair performed. Lump sum and unit cost bids shall include all material, labor, equipment, shoring, scaffolding, and clean-up, unless it is specifically identified otherwise, by issuing separate pricing for the above-mentioned items. In the event of a discrepancy between the amount shown in both words and in figures above, the amount shown in words shall govern. **If the Contract is terminated for Owners breach of non-payment,** the Owner cannot file any type of claim against the surety. Please also note, in the event of a conflict between these provisions and any other contract document, **this document shall govern above all others.** Owners to provide any touch-up paint as necessary at no cost to the Contractor.

WARRANTY PROVISIONS

We will provide any manufacturer warranties of the products we install where offered. In most cases small repairs are not offered a warranty by either the manufacturer or Restore Construction Group, Inc. The maximum limit of our warranty for performance on concrete repair and stucco painting is five (5) years from date of completion. The painting of any metal surfaces warranty by Restore Construction Group, Inc. is one (1) year from date of completion. Floor Coatings will have a one-year warranty, unless otherwise specified. The Warranty is contingent upon the Owner making payments in accordance with the agreement. The surety will cover the Warranty for a period of one-year maximum.

TIME TO COMPLETE

We propose to be substantially complete within **Fifty-Two (52) CALENDAR WEEKS** (NOT INCLUDING OPTIONAL WORK REQUIRING DRAWING) and achieve final completion **Four (4) CALENDAR WEEKS** later. Please note if the quantities outlined in the scope of work increase, then additional time will be required to complete the project.

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CHAPTER 558 NOTICE OF CLAIM

CHAPTER 558, FLORIDA STATUTES, CONTAINS IMPORTANT REQUIREMENTS YOU MUST FOLLOW BEFORE YOU MAY BRING ANY LEGAL ACTION FOR AN ALLEGED CONSTRUCTION DEFECT. SIXTY DAYS BEFORE YOU BRING ANY LEGAL ACTION, YOU MUST DELIVER TO THE OTHER PARTY TO THIS CONTRACT A WRITTEN NOTICE, REFERRING TO CHAPTER 558, OF ANY CONSTRUCTION CONDITIONS YOU ALLEGE ARE DEFECTIVE AND PROVIDE SUCH PERSON THE OPPORTUNITY TO INSPECT THE ALLEGED CONSTRUCTION DEFECTS AND TO CONSIDER MAKING AN OFFER TO REPAIR OR PAY FOR THE ALLEGED CONSTRUCTION DEFECTS. YOU ARE NOT OBLIGATED TO ACCEPT ANY OFFER WHICH MAY BE MADE. THERE ARE STRICT DEADLINES AND PROCEDURES UNDER THIS FLORIDA LAW WHICH MUST BE MET AND FOLLOWED TO PROTECT YOUR INTERESTS.

LICENSING AND INSURANCE

We are a State Certified Licensed General Contractor and carry liability coverage and complete Workman’s Compensation Insurance, as required by law.

This proposal will be automatically withdrawn if not accepted within thirty (30) days. If you have any questions, please do not hesitate to contact this office and we shall respond accordingly.

As Agreed, Upon By:

Norge Arnaiz
Restore Construction Group, Inc.

March 18, 2022
Date

Winston Tower 100 Condo Assoc

Date



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5 YEAR WARRANTY

[DATE]

[PROJECT NAME]

[PROJECT ADDRESS]

Restore Construction Group, Inc. (“RCG”) warrants the concrete restoration, painting of masonry and any waterproofing work performed by it under the contract signed by [PROJECT NAME] for [TYPE OF WORK], on [CONTRACT DATE] is free from defects in installation and workmanship under conditions of ordinary wear, for a period of (5) five years from the date of this letter. The warranty for the painting of any metal surfaces is for a period of (1) one year from the date of this letter. In the event of a claim made under this warranty, you must provide written notice of said claim to RCG within the applicable warranty period, which notice must be delivered by hand delivery, or mailed by United States Certified Mail, Return Receipt Requested, postage prepaid within seven (7) days of discovery of the circumstance giving rise to the warranty claim, time being of the essence. Upon receipt of your timely written warranty claim, RCG will schedule an inspection for the purpose of verifying your warranty claim. This Warranty includes all labor and materials required to perform repairs of proven defects in installation and workmanship under conditions of ordinary wear.

RCG will not under any circumstances be responsible for damages which are caused by: acts of God; abnormal or abusive use and wear; building alterations repairs, alterations, testing, damage or destruction by anyone other than RCG; or failure by Owner or its agents, employees or contractors to follow any recommended or industry standard maintenance or cleaning procedures.

This warranty covers defects in installation and workmanship only and does not cover defects in material.

Any work, repairs, alterations, testing, damage or destruction of or to any repaired area by someone other than RCG shall void this warranty as to that repaired area. RCG will not be held responsible for incidental, special or consequential damages with respect to the installation and workmanship covered by this warranty, including but not limited to loss of use of premises while repairs are being done, which includes any source of income loss, time loss, and inconvenience created by repairs covered under a warranty claim. Please note that if there are any monies that were not paid and left pending that this warranty will be voided.

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When performing repairs of proven defects in installation and workmanship under this warranty, RCG reserves the right to replace such material with commercially reasonable substitute material.

Any claim against this warranty is contingent upon full payment for all work performed.

We are confident you will never have to call upon a warranty repair. However, if we can be of any assistance to you, please do not hesitate to contact us.

Sincerely,

Restore Construction Group, Inc

SAMPLE

GANEM CONSULTING ENGINEERING**C.A. 31187**

15805 BISCAYNE BLVD STE 105
 North Miami Beach– Florida 33160
 Phone (786) 916-6546
 info@ganemce.com

**Section III: Bid Form****BID FORM – UNIT PRICES**

To: WINSTON TOWER 100
 Condominium Association
 250 174TH ST SUNNY ISLES BEACH FL 33160

Project: Concrete Restoration required for the parking building at 250 174th St, Sunny Isles Beach, FL 33160

Date: March 18, 2022

Submitted by: Restore Construction Group, Inc. (Full name)

Address: 2411 SW 58th Terrace West Park, Florida 33023

(P) 954-985-5353 (F) 954-985-5356

1. OFFER

Having examined the Worksite and all matters referred to in the Instructions to Bidders and the Contract Documents prepared by the Engineer for the above referenced project we, the undersigned hereby offer to enter into a Contract to perform the Work for the Unit Prices listed in this Bid Form in lawful money of the United States of America.

All applicable Federal and State of Florida, Miami-Dade County taxes are included in the Unit Prices.

2. ACCEPTANCE

This offer shall be open to acceptance and it is irrevocable for ninety days from the bid closing date.

If this bid is accepted by the Owner within the time period stated above, we will:

- Execute the Agreement within seven days of receipt of acceptance of this bid.

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- Furnish the required bonds (if any) within fourteen days of receipt of acceptance of this bid. Commence work to obtain Construction Permit within two weeks after written acceptance of this bid.

3. CONTRACT TIME

Complete the Work in (52) **calendar weeks** from commencement of Work. Please provide an accurate time frame for the completion of the work. (Not Including Optional Work Requiring Drawings)

4. UNIT PRICES AND ESTIMATED QUANTITIES

Please provide Unit Prices and total prices for each task including labor and materials.

THE CONTRACTORS WILL BE PROVIDED WITH MICROSOFT EXCEL SHEETS WITH THE QUANTITIES ESPECIFIED IN THE “ESTIMATE OF REQUIRED WORK” SHEETS THAT ARE ATTACHED AT THE END OF THIS BID PACKAGE. THIS WILL FACILITATE THEIR PROPOSAL PRESENTATION.

Contractor MUST visit the site, get familiar with the work. Most of the Restoration Concrete repairs are marked on the drawing. It is contractor responsibility to verify All visible cracks and damages, which are the part of the bid. Any repairs for NON visual damages will be treated as an extra or change order and have to be approved by Engineer and the Special Inspector. Any spider/hairline small cracks found on the pool deck, which required an epoxy injection, will be part of the job and no separate charge will be allowed.

Every indicated unit will be paid based on actual measurements certified by the Special Inspector. If non-specified units appear or the number of approved units increases, a change order will be prepared between the Contractor, the Engineer and the Special Inspector. No work can be started and will not be paid if not previously approved by the Owner.

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**5. APPENDICES**

The following information has to be included with the Bid submission:

1. Copy of General Contractor license.
2. Certificates of insurance.
3. Workers Compensation Policy
4. List of three projects in which work similar to that specified herein was successfully completed.
5. Technical data sheets for products intended for use if different from those specified.

Please see attached _____

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**6. BID FORM SIGNATURE (S)**

The Corporate Seal of

Restore Construction Group, Inc.

(Bidder – print full name of firm)

is hereunto affixed in the presence of:

Norge Arnaiz

(Authorized signing officer)

(Title)

(Seal)

Norge Arnaiz -Principial

Section IV: Supplementary General Conditions

Permits fees to be paid by the contractor and reimbursed by the Owner upon presentation of receipts. If additional Engineering Plans and Calculations are required by the Building Department for Construction Permit approval, these will be paid by the Contractor and reimbursed by the Owner.

If a Performance Bond is required by the Owner, the actual cost of such Bond will be reimbursed to the Contractor within 2 weeks of the actual bond payment by the Contractor.

The cost of ONE swing stage shall be clearly specified under General Conditions and the Contractor is obligated to inform the Engineer or the Special Inspector when a swing stage is required and for how long it will be required. The invoice for the swing stage use has to be verified and accepted by the Special Inspector before it is presented to the Owner.

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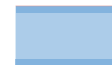
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SECTION 8: Estimate of Work with units and quantities

CONCRETE RESTORATION AND GENERAL REPAIRS WINSTON TOWER 100 GENERAL ESTIMATE OF WORK REQUIRED COLUMNS 250 174TH ST, SUNNY ISLES BEACH 33160, FLORIDA					
ITEMS	UNIT	ESTIMATED WORK	QNTY	Unit Price	Total
HAIRLINE CONCRETE CRACKS ON COLUMNS - ROUTE AND SEAL	L.F.	17.25	17.25	\$ 35.00	\$ 603.75
SPALL COLUMN PARTIAL DEPTH - up to 3 inch.	S.F.	109.25	109.25	\$ 125.00	\$ 13,656.25
CONCRETE PATCH COLUMN REPAIR	S.F.	20.70	20.70	\$ 100.00	\$ 2,070.00
HONEYCOMBS ON COLUMNS	S.F.	6.00	6.00	\$ 35.00	\$ 210.00
\$					16,540.00



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CONCRETE RESTORATION AND GENERAL REPAIRS WINSTON TOWER 100 GENERAL ESTIMATE OF WORK REQUIRED SLABS 250 174TH ST, SUNNY ISLES BEACH 33160, FLORIDA					
ITEMS	UNIT	ESTIMATED WORK	QNTY	Unit Price	Total
SLABS HAIRLINE CONCRETE CRACKS, BOTTOM - ROUTE AND SEAL	L.F.	629.05	629.05	\$ 25.00	\$ 15,726.25
SLABS HAIRLINE CONCRETE CRACKS, OVERHEAD - ROUTE AND SEAL	L.F.	165.60	165.60	\$ 35.00	\$ 5,796.00
CRACKS ON SLABS, FULL DEPTH REPAIR	C.F.	808.06	808.06	\$ 240.00	\$ 193,934.40
SPALL CONCRETE SLAB - FULL DEPTH	C.F.	1983.75	1983.75	\$ 240.00	\$ 476,100.00
POST SHORING	L.S.	1.00	1.00	\$ 50,000.00	\$ 50,000.00
SPALL CONCRETE SLAB - PARTIAL DEPTH BOTTOM up to 3 inch	S.F.	125.35	125.35	\$ 85.00	\$ 10,654.75
SPALL CONCRETE SLAB - PARTIAL DEPTH OVERHEAD up to 3 inch	S.F.	257.60	257.60	\$ 125.00	\$ 32,200.00
EDGE REPAIR-up to 8 inch	L.F.	111.55	111.55	\$ 125.00	\$ 13,943.75
JOIST REPAIR	L.F.	310.50	310.50	\$ 150.00	\$ 46,575.00
BEAM REPAIR OVERHEAD SPALL CONCRETE up to 3 inch	S.F.	80.50	80.50	\$ 125.00	\$ 10,062.50
CONSTRUCTION JOINT REPAIR - up to 2 inch (Priced with 2" EMSEAL SIESMIC COLORSEAL)	L.F.	1471.43	1471.43	\$ 108.73	\$ 159,991.14
EXPANTION JOINT REPAIR - up to 2 inch (Priced with 2" EMSEAL SIESMIC COLORSEAL)	L.F.	300.00	300.00	\$ 108.91	\$ 32,672.14
\$ 1,047,655.93					

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CONCRETE RESTORATION AND GENERAL REPAIRS WINSTON TOWER 100 GENERAL ESTIMATE OF WORK REQUIRED POOL AREA 250 174TH ST, SUNNY ISLES BEACH 33160, FLORIDA					
ITEMS	UNIT	ESTIMATED WORK	QTNY	Unit Price	Total
SPALL CONCRETE FULL DEPTH REPAIR ON SLAB 10" Add Rebar on calcs	C.F.	2024.00	2024.00	\$ 250.00	\$ 506,000.00
SPALL CONCRETE FULL DEPTH REPAIR ON WALL 8" Add Rebar on Calcs	C.F.	1254.89	1254.89	\$ 240.00	\$ 301,173.60
					\$ 807,173.60

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CONCRETE RESTORATION AND GENERAL REPAIRS WINSTON TOWER 100 GENERAL ESTIMATE OF WORK REQUIRED WALLS 250 174TH ST, SUNNY ISLES BEACH 33160, FLORIDA					
ITEMS	UNIT	ESTIMATED WORK	QTNY	Unit Price	Total
SPALL CONCRETE SLAB - PARTIAL DEPTH up to 3 inch	S.F.	6.90	6.90	\$ 125.00	\$ 862.50
STUCCO up to 3/4"	S.F.	621.00	621.00	\$ 20.00	\$ 12,420.00
CRACKS ON WALLS	L.F.	101.20	101.20	\$ 55.00	\$ 5,566.00
					\$ 18,848.50

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CONCRETE RESTORATION AND GENERAL REPAIRS WINSTON TOWER 100 GENERAL ESTIMATE OF WORK REQUIRED RAMP 328 174TH ST, SUNNY ISLES BEACH 33160, FLORIDA					
ITEMS	UNIT	ESTIMATED WORK	QTNY	Unit Price	Total
RAMP HAIRLINE CONCRETE CRACKS FULL DEPTH	C.F.	52.33	52.33	\$ 240.00	\$ 12,559.20
RAMP SPALL CONCRETE JOIST REPAIR	C.F.	2.42	2.42	\$ 400.00	\$ 968.00
RAMP SPALLED CONCRETE BOTTOM PARTIAL DEPTH up to 3 inch	S.F.	93.15	93.15	\$ 85.00	\$ 7,917.75
RAMP SPALLED CONCRETE BEAM REPAIR up to 3 inch	S.F.	9.20	9.20	\$ 125.00	\$ 1,150.00
					\$ 22,594.95

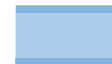
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CONCRETE RESTORATION AND GENERAL REPAIRS WINSTON TOWER 100 GENERAL ESTIMATE OF WORK REQUIRED WATERPROOFING AND DRAINAGE 250 174TH ST, SUNNY ISLES BEACH 33160, FLORIDA					
ITEMS	UNIT	S.F.	QNTY	Unit Price	Total
SLOPING - REMOVAL OF WATERPROOFING (Price does not include removal of pavers or topping)	S.F.	53918.00	53918.00	\$ 1.79	\$ 96,282.14
SLOPING - INSTALLATION OF TOPPING SLAB up to 4 inch thick - Pitched to existing drain (Price includes welded wire)	S.F.	53918.00	53918.00	\$ 5.09	\$ 274,317.37
					\$ 370,599.51



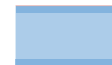
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CONCRETE RESTORATION AND GENERAL REPAIRS WINSTON TOWER 100 GENERAL ESTIMATE OF WORK REQUIRED PARKING 250 174TH ST, SUNNY ISLES BEACH 33160, FLORIDA	
ITEMS	Total
COLUMNS	\$ 16,540.00
SLABS	\$ 1,047,655.93
POOL	\$ 807,173.60
WALLS	\$ 18,848.50
RAMP	\$ 22,594.95
WATERPROOFING	\$ 370,599.51
OPTIONAL WORKS	\$ 762,207.70
% MOBILIZATION	\$ 98,186.74
GENERAL CONDITIONS	\$ 251,175.37
% DEMOBILIZACION	\$ 19,865.69
	\$ 3,414,847.99



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CONCRETE RESTORATION AND GENERAL REPAIRS WINSTON TOWER 100 GENERAL ESTIMATE OF OPTIONAL WORK 250 174TH ST, SUNNY ISLES BEACH 33160, FLORIDA					
ITEMS	UNIT	ESTIMATED WORK	QNTY	Unit Price	Total
WATERPROOFING MEMBRANE - SIKA COLUOR FLAKES, PRIMER Sikalastic, base Coat Sika 710. Top Coat Sika 735, Clear Coat Sika 748	S.F.	53918.00	53918.00	\$ 7.95	\$ 428,648.10
DECK PAVERS REMOVAL	S.F.	53918.00	53918.00	\$ 1.00	\$ 53,918.00
ZURN DRAIN	E.A.	80.00	80.00	\$ 1,730.00	\$ 138,400.00
DRAINAGE CAST IRON PIPES REPLACEMENT TO PVC	L.S.	1.00	1.00		Need Plumbing Drawings
INSTALATION NEW PLANTERS	L.S.	1.00	1.00	\$ -	Need Beautification Drawings
PAINT ON WALLS AND PIPING (Price only includes masonry surfaces)	S.F.	12870.80	12870.80	\$ 2.00	\$ 25,741.60
RESTROOMS REMODELING	L.S.	1.00	1.00	\$ -	Need Beautification Drawings
NEW ELECTRICAL LIGHTS ON POOL DECK	L.S.	1.00	1.00	\$ -	Need Electrical Drawings
INSTALL NEW BBQ STATION AND WET BAR	L.S.	1.00	1.00	\$ -	Need Beautification Drawings
DEMOLITION AND INSTALATION OF TRELLIS	L.S.	1.00	1.00	\$ -	Need Beautification Drawings
LANDSCAPING	L.S.	1.00	1.00	\$ -	Need Landscape Drawings
FENCING REMOVAL AND INSTALL NEW FENCING	L.S.	1.00	1.00	\$ -	Need Beautification Drawings
SAUNA ROOM REMODELING	L.S.	1.00	1.00	\$ -	Need Beautification Drawings
POOL FINISHING	L.S.	1.00	1.00	\$ -	Need Aquatic Drawings
POOL EQUIPMENT	L.S.	1.00	1.00	\$ -	Need Aquatic Drawings
NEW 8" CMU PLANTERS 2' HIGH (Price includes tie beams, tie columns, stucco and paint)	L.F.	770	770	\$ 150.00	\$ 115,500.00
					\$ 762,207.70

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