



November 28, 2021,

Request for proposal

To Whom it May Concern Winston Towers 100 250 174th Street

Sunny Isles Beach, Florida 33160

RE: Winston Towers 100

Roof replacement and Valet Canopy roof replacement.

Dear Prospective bidder,

We are currently looking for proposals for our Building roof and Valet to provide all labor, materials, equipment, insurances, engineering and permits required to perform the following scope of work:

We are looking to get the Bids back by December 17, 2pm. Eastern time.

You can visit the site and examine the project by making an appointment with the WT100 Office by dialing 305-932-0850.

If you have any questions, please call Lev Solodovnik at the Office or Mobil tel. 860-250-7663 or email levsolo@gmail.com

Option 1:

20 Year .045 Mil Fibertite TM Roof System with 1/8" Tapered Insulation & Vapor Barrier \$ \_\_\_\_\_

Option 2:

20 Year .060 Mil TPO Roof System with 1/8" Tapered Insulation & Vapor Barrier \$ \_\_\_\_\_

Option 3: Durapax CTP Re-roof system (Coal Tar Pitch) \$ \_\_\_\_\_

20 Year No Dollar Limit Guarantee on materials and labor by Durapax.

Additional Scuppers \$ \_\_\_\_\_

10' x 10' concrete restoration if needs it \$ \_\_\_\_\_

Performance Bond % \_\_\_\_\_ \$ \_\_\_\_\_

Walk pads around equipment on the roof \$ \_\_\_\_\_

Days required to complete the job \_\_\_\_\_



**Scope of Work Includes:**

- > Remove existing roof system down to concrete deck and dispose accordingly
- > Prime concrete deck for proper adhesion of vapor barrier
- > Install 1 ply of modified torch applied direct to the concrete deck
- > Install complete 1/8" tapered insulation system over concrete deck sloped to drain
- > Install complete single ply roofing system adhered to insulation boards
- > All roofing accessories and flashings as required per manufacturer's specifications
- > All visible sheet metal items to consist of .040 aluminum
- > Waterproof interior parapet walls around the perimeter
  
- > Furnish and install 10 new retro fit drain at each location
- > Add additional and re-size existing scuppers to comply with current Florida Building Code
- > 20 Year Manufacturer's Labor & Material Warranty
- > 5 Year Workmanship Warranty and Maintenance Agreement
- > Based on approx.34,773 SF of Main roof and approx. 1,700 SF Valet canopy roof
- > See attached exhibit "A" for scope descriptions and quantities for Main roof

**WARRANTY PROVIDED:**

- NDA 20 Year Manufacturer's Warranty
- 5 Year Roofing Workmanship Warranty and Maintenance Agreement

**NOTES:**

- Engineering fees to obtain roofing permits are included.
- Base Permit and permit Processing Fees are included in the contract price
- A minimum of 3 parking Spaces for staging of material and equipment.
- Prior to the start of the project, we will designate our representative to conduct a pre-job conference with Roofing Contractor. This will be to coordinate all the activities and to avoid any delays or surprises.
- Price includes the removal of all roofing related debris.
- The permit will be displayed and accessible to the Inspector.
- All work performed in accordance with Florida Building Codes Requirements
- This proposal is based upon the performance of all work during regular working hours 7AM to 7PM
- Monday thru Saturday, excluding Sunday and National Holidays.
- If required to work Sundays, nights, or over 40 hours, client will pay an additional rate of \$\_\_\_\_\_ per man hour for such work. This rate includes supervision time. Light rental for night work is included .
- Hourly Rate used to calculate additional services that might be require& Supervisor \$\_\_\_\_\_ per/hour, Roofer \$\_\_\_\_\_ hour, Apprentice \$\_\_\_\_\_ per/hour.

**FLAT/SLOPE ROOF UNIT PRICES (IF APPLICABLE):**



The following unit prices will apply and be added to the contract as a Change Order in the event these items are

- a) requested by the client or
- b) unforeseen conditions require the addition to complete the scope of work in excess of the original budgeted quantities.

Client's acceptance of this Agreement shall constitute Client's acceptance of all Change Orders in regards to these unit priced items.

\$TBD values will be reviewed with the Client prior to any work being performed.

Retrofit Drains

Cut New Scuppers Beyond      Included

2 x 6 P.T. Woodnailer    |

Plywood Decking

Walk pads

#### **EXCLUSIONS:**

- Mechanical and Electrical Work.
- Any Additional Work Not Included in Specified

#### **Scope of work**

- Engineered signed and sealed design wind pressure calculation
- Miami Dade Product Approval NOA for the proposed system.
- Perform drainage survey to verify capacity of existing primary and overflow drains/scuppers.
- Provide roof attachment and engineered fastening pattern.
- Notice of Commencement filing with the County and fees before the start of the project
- Lighting Protection
- Slope Roof Only - Any L-Flashings and Stucco Work
- Waterproofing of Walls are Not Included
- Additional Roof Drains
- Sunday Work, Night Work, and Overtime.
- Interior Protection or Clean up
- Enlargement of Overflow Scuppers
- All the materials will be installed by manufacturing requirements.

#### **Terms of Payment.**

Contractor has to submit to the Owner by the end of each month the Payment application as per AIA 702 and 703 Schedule of Values/Progress payment. Each payment will have 10% retainage fee to be paid upon delivery of Final inspection, warranties, Final release of Lien and closing the Notice of Comments in the County

#### **Liquidated Damages.**

Liquidated Damages. It is mutually agreed between the parties that time is of the essence of this Contract, and in the event the project is not completed within the time and in the manner specified in this Contract (hurricane or storm delays notwithstanding or other reasonable delays such as additional work or inability to obtain materials or other reasons beyond the control of Contractor), it is **agreed that**



from the compensation otherwise to be paid to the Contractor, the Owner may retain the sum of Five Hundred Dollars (\$500.00) per day for each day thereafter, that the work remains uncompleted and the Owner is denied full benefit of completion of the project, which sum Owner and Contractor agree represents the damages the Owner will have sustained per day for the failure of the Contractor to complete the project within the time stipulated. Requests for extensions due delays must be made in writing within seven days from incurring the delay indicating the reason for such delay and shall indicate the number of days lost due to such delay. The parties agree that this sum is not a penalty.

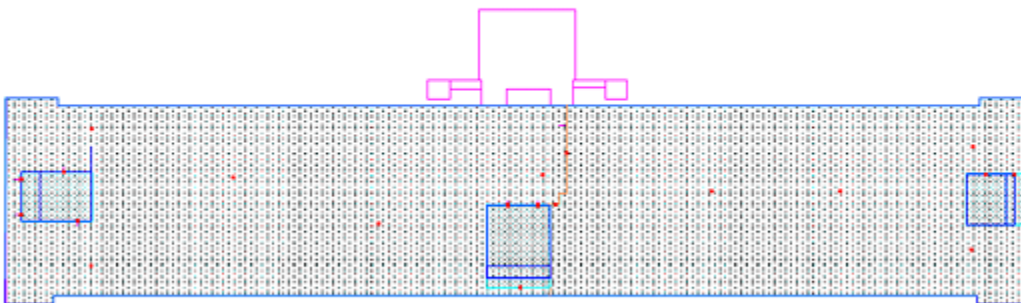
The following days shall be excluded from total days of completion 1. Rain Days (for work to be performed on the roof level only), However, no extensions shall be given for rain days for work necessary to complete for the garage project 2. Federal Holidays 3. Weekends (Sat-Sun). Additional days will be added if new scopes or quantities are added to contract. All Rain days and delay shall be documented on daily occurrence. A 5 Day Work Week shall be in effect.

#### **Appendices.**

The following information has to be included with the Bid submission:

1. Copy of General Contractor license.
2. Certificates of insurance naming WT100 Associates as additional insurer if contractor win the Bid.
3. Workers Compensation Policy naming WT100 Associates as additional insurer if contractor win the Bid.
4. List of three projects in which work similar to that specified herein was successfully completed.
5. Technical data sheets for products intended for use if different from those specified.

Section: Entire Job  
Page: 60 Mil TPO Over 1/8" Tapered System - Main Roof

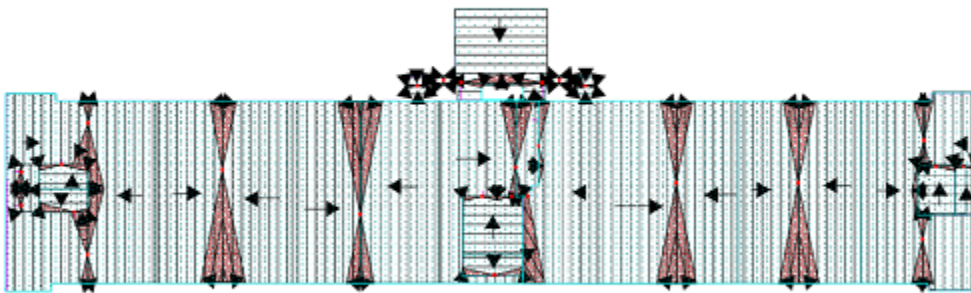




Section: Entire Job  
 Page: 1/8" Slope Tapered System With Vapor Barrier - Main Roof

Legend	Pitch	Description	SF	LF	EA
		Length		2,216.71	100.00
		1/8" Slope Tapered System Fully Adhered	34,985.93	4,379.71	165.00
		Vapor Barrier Roof	33,338.24	1,272.42	26.00
		Vapor Barrier Walls and Curbs		2,500.00	0.00
		Vapor Barrier Penetrations			502.00
		TPO Drain Flashing			15.00
		TPO Coated Metal Wall Scupper			11.00

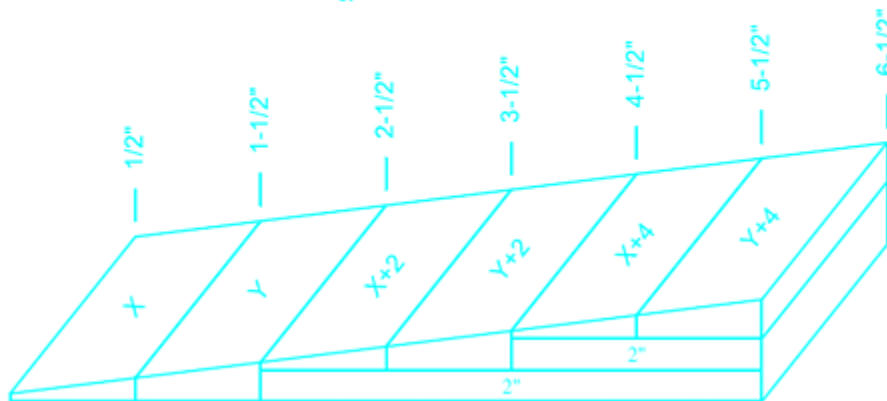
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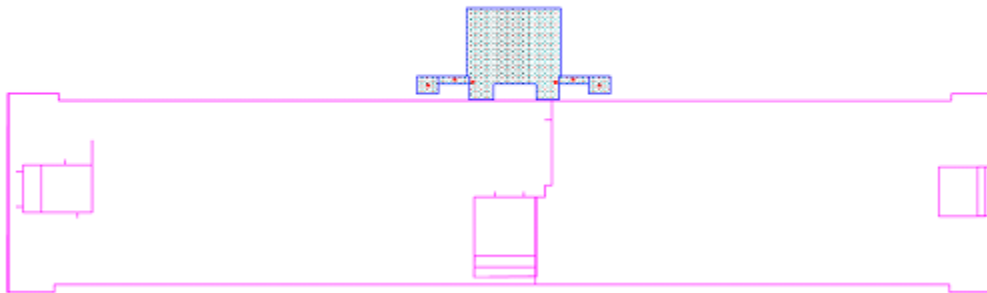
Condition = 1/8" Slope Tapered System Fully Adhered (Cricket)

Filler Bd. = 2" - 4' 0" x 4' 0" GAF EnergyGuard ISO





Section: Entire Job  
 Page: 60 Mil TPO Fleeceback Over Concrete Deck - Lower Front Canopy



Section: Entire Job  
 Page: 60 Mil TPO Fleeceback Over Concrete Deck - Lower Front Canopy

Legend	Pitch	Description	SF	LF	EA
		Length		3,955.70	134.00
		Please Enter Bid#: on User Fields Tab	1,655.14	290.20	24.00
		Engineering & Testing	1,655.14	290.20	24.00
		Permit for -GJI-	1,655.14	290.20	24.00
		Set-up & Support	1,655.14	290.20	24.00
		Crane General Conditions	1,655.14	290.20	24.00
		Equipment	1,655.14	290.20	24.00
		OSHA Safety Monitoring	1,655.14	290.20	24.00
		20 Year NDL Warranty	1,655.14	290.20	24.00
		Sweep Existing Gravel	1,655.14	290.20	24.00
		Remove 0' 2" Mopped to Concrete: Han	1,655.14	290.20	24.00
		Remove: Flashing below 3' @ Lower Ca		303.52	28.00
		Remove: Penetrations			15.00
		MOD Tie In	1,655.14	290.20	24.00
		Energy Efficient Roof System over Cons	1,655.14	290.20	24.00
		TPO 18" Wall Flashing with Counterflas		303.52	28.00
		TPO Premolded Penetration Flashing			3.00
		TPO Drain Flashing - With New Drain F			6.00
		TPO Coated Metal Overflow Scupper - 1			6.00
		Wood Blocking Excluded			1.00
		Dedicated Service Elevator Must be Avz			1.00
		Exclude Repairs to Stair Cases and Ladd			1.00
		Excludes Lightning Protection			1.00